



**AFTER RECORDING RETURN TO:**

ROBERT D. BURTON, ESQ.  
WINSTEAD PC  
401 CONGRESS AVE., SUITE 2100  
AUSTIN, TEXAS 78701  
EMAIL: [RBURTON@WINSTEAD.COM](mailto:RBURTON@WINSTEAD.COM)

**FIRST AMENDMENT TO DECLARATION  
OF CONDOMINIUM REGIME  
FOR 1880 AT PLUM CREEK CONDOMINIUMS  
(A Residential Condominium Project located in Hays County, Texas)**

[ADDING UNITS]

**DECLARANT:** PLUM CREEK (2021), LLC, a Texas limited liability company

Cross reference to that certain Declaration of Condominium Regime for 1880 at Plum Creek Condominiums, recorded under Document No. 22013774, Official Public Records of Hays County, Texas, as may be amended from time to time.

**FIRST AMENDMENT TO DECLARATION OF CONDOMINIUM REGIME FOR  
1880 AT PLUM CREEK CONDOMINIUMS**

This First Amendment to Declaration of Condominium Regime for 1880 at Plum Creek Condominiums (this "**Amendment**") is made by **PLUM CREEK (2021), LLC**, a Texas limited liability company ("**Declarant**"), and is as follows:

**RECITALS**

A. 1880 at Plum Creek Condominiums, a residential condominium community (the "**Regime**"), located in Hays County, Texas, was established pursuant to that certain: (i) Declaration of Condominium Regime for 1880 at Plum Creek Condominiums, recorded under Document No. 22013774, Official Public Records of Hays County, Texas, as may be further amended from time to time (the "**Declaration**").

B. Pursuant to *Provisions A.3.2, A.3.7(ii), and A.3.9(iv)* of Appendix "A" to the Declaration, during the Development Period, Declarant may amend the Declaration unilaterally and without the consent of other Owners or any Mortgagee to create Units, General Common Elements and Limited Common Elements within the Property, in the exercise of statutory Development Rights.

C. The "**Development Period**", as such term is defined in the Declaration, is a seven (7) year period commencing on the date the Declaration was recorded in the Official Public Records of Hays County, Texas. The Development Period is still in effect.

D. The Declarant desires to amend the Declaration for the purposes of creating eighteen (18) additional Units within the Regime. The total number of Units within the Regime after giving effect to this Amendment is equal to thirty-six (36), and the total number of additional Units which Declarant has reserved the right to create by amendment is equal to ninety-three (93).

**NOW THEREFORE**, the Declaration is hereby amended as follows:

1. **Creation of Units.** In accordance with the rights reserved by the Declarant pursuant to *Section 5.1* of the Declaration and *Provisions A.3.2, A.3.7(ii) and A.3.9(iv)* of Appendix "A" to the Declaration, Declarant hereby creates Units 31, 32, 33, 36, 37, 50, 51, 62, 63, 64, 65, 107, 108, 109, 122, 123, 124, and 125; all as shown on the New Plat and Plans (collectively, the "**New Units**"). The New Units are hereby classified as Units which **MUST BE BUILT**.

2. **Replacement Attachment 1.** Attachment 1 to the Declaration is hereby deleted in its entirety and the Plat and Plans attached hereto as Exhibit "A" (the "**New Plat and Plans**")

are substituted in their place. The New Plat and Plans: (i) assign an identifying number to all Units and the New Units; (ii) describe the portion of the Limited Common Elements created or assigned to all Units, if any; and (iii) include the information required by Section 82.059 of the Texas Uniform Condominium Act.

3. **Replacement of Attachment 3 - Common Interest Allocation.** The Common Interest Allocation assigned to a Unit, after the addition of the New Units, is set forth on Exhibit "B", attached hereto. Exhibit "B", attached hereto, will supersede and replace Attachment 3 attached to the Declaration.

4. **Miscellaneous.** Any capitalized terms used and not otherwise defined herein shall have the meanings set forth in the Declaration. Unless expressly amended by this Amendment, all other terms and provisions of the Declaration remain in full force and effect as written, and are hereby ratified and confirmed.

[SIGNATURE PAGE FOLLOWS]

EXECUTED to be effective on the date this Amendment is recorded in the Official Public Records of Hays County, Texas.

**DECLARANT:**

**PLUM CREEK (2021), LLC,**  
a Texas limited liability company

By: \_\_\_\_\_  
Printed Name: Chris Young  
Title: Operations Manager

THE STATE OF TEXAS           §  
  §  
COUNTY OF Travis           §

This instrument was acknowledged before me on this 21<sup>st</sup> day of June 2022, by Chris Young, Operations Manager of **PLUM CREEK (2021), LLC**, a Texas limited liability company, on behalf of such entity.

Antonia M. Giglio  
Notary Public, State of Texas

[SEAL]

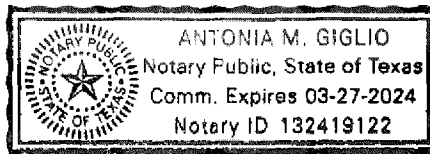


EXHIBIT "A"

ATTACHMENT 1

CONDOMINIUM PLATS AND PLANS

The plats and plans, attached hereto as Attachment "1" contain the information required by the Texas Uniform Condominium Act.

Printed Name: Paul Utterback

RPLS or License No. 5738

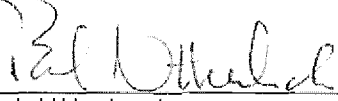
*SEE NEXT PAGE FOR ORIGINAL CERTIFICATION*

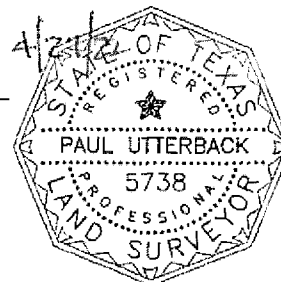
FIRST AMENDMENT TO  
DECLARATION OF CONDOMINIUM REGIME FOR  
1880 AT PLUM CREEK CONDOMINIUMS

## 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT

A CONDOMINIUM REGIME IN HAYS COUNTY, TEXAS, SITUATED ON LOTS 2 AND 3, PLUM CREEK PHASE II, UPTOWN NORTH SUBDIVISION, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT AS RECORDED IN DOC. NO. 19044530, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS.

The plats and plans attached hereto contain the information required by Sections 82.052 and 82.059 of the Texas Uniform Condominium Act, as applicable.

  
Paul Utterback  
Registered Professional  
Land Surveyor No. 5738



### SHEET 1 OF 14

 **ATS** Engineers  
Inspectors  
& Surveyors

[www.ats-engineers.com](http://www.ats-engineers.com)

TBPLS FIRM REG. #10126000

4910 West Hwy 290  
AUSTIN, TEXAS 78735

(512) 328-6995  
FAX: (512) 328-6998

ATS Job # 21112933s

Client: Homes by AVI

Date of Field Work: 9/23/21, 9/24/21,  
9/27/21 & 9/28/21

Field: MAlfaro

Tech: MBoiton & CCarter

Date Drawn: 11/29/2021 revised 12/10/2021, add PH.2 04/27/2022

Path: Projects\ProminenceHomes\PlumCreek2\Production-Condo\CONDO\_1880atPlumCreekPh2\_220427.dwg

## 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT

A CONDOMINIUM REGIME IN HAYS COUNTY, TEXAS, SITUATED ON LOTS 2 AND 3, PLUM CREEK PHASE II, UPTOWN NORTH SUBDIVISION, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT AS RECORDED IN DOC. NO. 19044530, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS.

### GENERAL NOTES:

1) ALL IMPROVEMENTS AND LAND REFLECTED ON THE PLAT ARE DESIGNATED AS GENERAL COMMON ELEMENTS, SAVE AND EXCEPT PORTIONS OF THE REGIME DESIGNATED AS LIMITED COMMON ELEMENTS OR UNITS: (i) IN DECLARATION OF CONDOMINIUM REGIME FOR 1880 AT PLUM CREEK CONDOMINIUMS (THE "DECLARATION") OR (ii) ON THE PLATS AND PLANS OF THE REGIME.

2) OWNERSHIP AND USE OF CONDOMINIUM UNITS IS SUBJECT TO THE RIGHTS AND RESTRICTIONS CONTAINED IN THE DECLARATION.

3) EACH UNIT, BUILDING, LIMITED COMMON ELEMENT AND GENERAL COMMON ELEMENT IS SUBJECT TO SPECIAL RIGHTS RESERVED BY THE DECLARANT AS PROVIDED IN APPENDIX "A" OF THE DECLARATION. PURSUANT TO SUCH PROVISIONS, AMONG OTHER THINGS, DECLARANT HAS RESERVED THE RIGHT TO (i) COMPLETE OR MAKE IMPROVEMENTS INDICATED ON THE PLAT AND PLANS, AS PROVIDED IN APPENDIX "A" OF THE DECLARATION; (ii) EXERCISE ANY DEVELOPMENT RIGHT PERMITTED BY THE TEXAS UNIFORM CONDOMINIUM ACT AND THE DECLARATION, INCLUDING THE ADDITION OF REAL PROPERTY TO THE REGIME, WHICH PROPERTY MAY BE ADDED AS UNITS, GENERAL COMMON ELEMENTS AND/OR LIMITED COMMON ELEMENTS; (iii) MAKE THE PROPERTY PART OF A LARGER CONDOMINIUM OR PLANNED COMMUNITY; (iv) APPOINT OR REMOVE ANY DECLARANT-APPOINTED OFFICER OR DIRECTOR OF THE ASSOCIATION DURING THE DECLARANT CONTROL PERIOD (AS DEFINED IN THE DECLARATION); (v) USE UNITS OWNED OR LEASED BY DECLARANT AS MODELS, STORAGE AREAS, AND OFFICES FOR THE MARKETING, MANAGEMENT, MAINTENANCE, CUSTOMER SERVICE, CONSTRUCTION, AND LEASING OF THE PROPERTY, AND USE EASEMENTS THROUGH THE COMMON ELEMENTS FOR THE PURPOSE OF MAKING IMPROVEMENTS WITHIN THE REGIME, FOR PURPOSES OF PROMOTING, IDENTIFYING, AND MARKETING THE PROPERTY, DECLARANT RESERVES AN EASEMENT AND RIGHT TO PLACE OR INSTALL SIGNS, BANNERS, FLAGS, DISPLAY LIGHTING, POTTED PLANTS, EXTERIOR DECORATIVE ITEMS, SEASONAL DECORATIONS, TEMPORARY WINDOW TREATMENTS, AND SEASONAL LANDSCAPING ON THE PROPERTY, INCLUDING ITEMS AND LOCATIONS THAT ARE PROHIBITED TO OTHER OWNERS AND RESIDENTS. DECLARANT HAS ALSO RESERVED AN EASEMENT AND RIGHT TO MAINTAIN, RELOCATE, REPLACE, OR REMOVE THE SAME FROM TIME TO TIME WITHIN THE PROPERTY. DECLARANT HAS RESERVED AN EASEMENT AND RIGHT OF INGRESS AND EGRESS IN AND THROUGH THE COMMON ELEMENTS (AS DEFINED IN THE DECLARATION) AND UNITS OWNED OR LEASED BY DECLARANT FOR PURPOSES OF CONSTRUCTING, MAINTAINING, MANAGING, AND MARKETING THE PROPERTY, AND TO SUBDIVIDED UNITS INTO COMMON ELEMENTS; AND TO WITHDRAW PROPERTY FROM THE CONDOMINIUM; AND FOR DISCHARGING DECLARANT'S OBLIGATIONS UNDER THE TEXAS UNIFORM CONDOMINIUM ACT AND THE DECLARATION.

4) AS OF 9/20/21, PREPARED FROM RECORDS AND PLANS ONLY AND THE UPPER AND LOWER BOUNDARIES ARE AS DESCRIBED IN THE DECLARATION.

### SHEET 2 OF 14

CONDOMINIUM PLAT NOTES


**ATS** Engineers  
Inspectors  
& Surveyors

[www.ats-engineers.com](http://www.ats-engineers.com)  
 TBPLS FIRM REG. #10128000  
 4910 West Hwy 290  
 AUSTIN, TEXAS 78735

(512) 328-6996  
 FAX: (512) 328-6996

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT

LEGEND	
⊘	1/2" (IRF) IRON ROD FOUND
⊘	1 1/2" (I.D.) IRON PIPE FOUND
⊘	MAG NAIL FOUND
⊘	BRASS DISC MONUMENT FOUND
⊘	CALCULATED POINT
P.U.E.	PUBLIC UTILITY EASEMENT
R.O.W.	RIGHT OF WAY
( )	RECORD INFORMATION
O.P.R.H.C.T.	OFFICIAL PUBLIC RECORDS HAYS COUNTY TEXAS
R.P.R.H.C.T.	REAL PROPERTY RECORDS HAYS COUNTY TEXAS
P.R.H.C.T.	PLAT RECORDS HAYS COUNTY TEXAS
[ ]	CONCRETE/PAVING
-x-	WIRE FENCE
-□-	METAL FENCE
-▬-	WOOD FENCE
[ET]	ELECTRIC TRANSFORMER
[E]	ELECTRIC METER
[S]	SIGN (TYPE ID AS NOTED)
[CO]	WASTEWATER CLEANOUT
[WM]	WATER METER
[WV]	WATER VALVE
[LS]	LIGHT STANDARD
[FH]	FIRE HYDRANT OR FIRE HYDRANT SPIGOT
[G]	GAS METER
[GS]	GAS STUBOUT / UNDERGROUND MARKER
[GV]	GAS VALVE
[MH]	MANHOLE (TYPE & SIZE ON DRAWING)
GCE	GENERAL COMMON ELEMENT
GCE*	GENERAL COMMON ELEMENT SUBJECT TO DEVELOPMENT RIGHTS
LCE	LIMITED COMMON ELEMENT
PVT	PRIVATE
M&B	MUST BE BUILT

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N73°38'15"E	10.20'
L2	S79°02'41"W	10.00'
L3	N79°02'41"E	10.00'
L4	N06°31'14"W	10.00'
L5	N06°31'14"W	10.00'
L6	N10°06'12"W	10.56'
L7	S88°09'42"W	10.00'
L8	S88°09'42"W	10.00'
L9	S88°09'42"W	10.00'
L10	S79°02'41"W	10.00'
L11	S79°02'41"W	10.00'
L12	S84°40'52"W	9.97'
L13	S73°28'22"W	10.00'
L14	S72°02'27"W	10.00'
L15	N21°20'04"W	10.00'
L16	N21°20'04"W	10.00'

CURVE DATA TABLE				
CURVE	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	2744.79'	S06°20'28"E	380.65'	380.96'
(C1)	(2744.79')	(S06°20'33"E)	(380.65')	(380.96')
C2	2744.79'	S10°56'36"E	60.00'	60.00'
(C2)	(2744.79')	(S10°56'42"E)	(60.00')	(60.00')
C3	2744.79'	S12°56'41"E	131.73'	131.74'
(C3)	(2744.79')	(S12°56'46"E)	(131.73')	(131.74')
C4	2964.79'	S19°31'53"E	150.18'	150.20'
(C4)	(2964.79')	(S19°33'47"E)	(150.30')	(150.32')
C5	3464.79'	N16°22'50"W	623.44'	624.29'
(C5)	(3464.79')	(S16°23'08"E)	(623.44')	(624.29')
C6	1535.00'	N80°41'27"E	96.58'	96.57'
(C6)	(1535.00')	(N80°39'45"E)	(96.54')	(96.55')
C7	1475.00'	S80°44'28"W	96.94'	96.95'
(C7)	(1475.00')	(N80°43'53"E)	(96.91')	(96.93')
C8	3464.79'	N10°43'19"W	60.10'	60.10'
(C8)	(3464.79')	(N10°43'36"W)	(60.13')	(60.13')
C9	3464.79'	N06°27'51"W	454.51'	454.83'
(C9)	(3464.79')	(N06°28'08"W)	(454.52')	(454.84')

**SHEET 3 OF 14**

LEGEND/LINE AND  
CURVE TABLES

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Inspectors  
& Surveyors

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AUSTIN, TEXAS 78735

(512) 328-6805  
FAX: (512) 328-8986



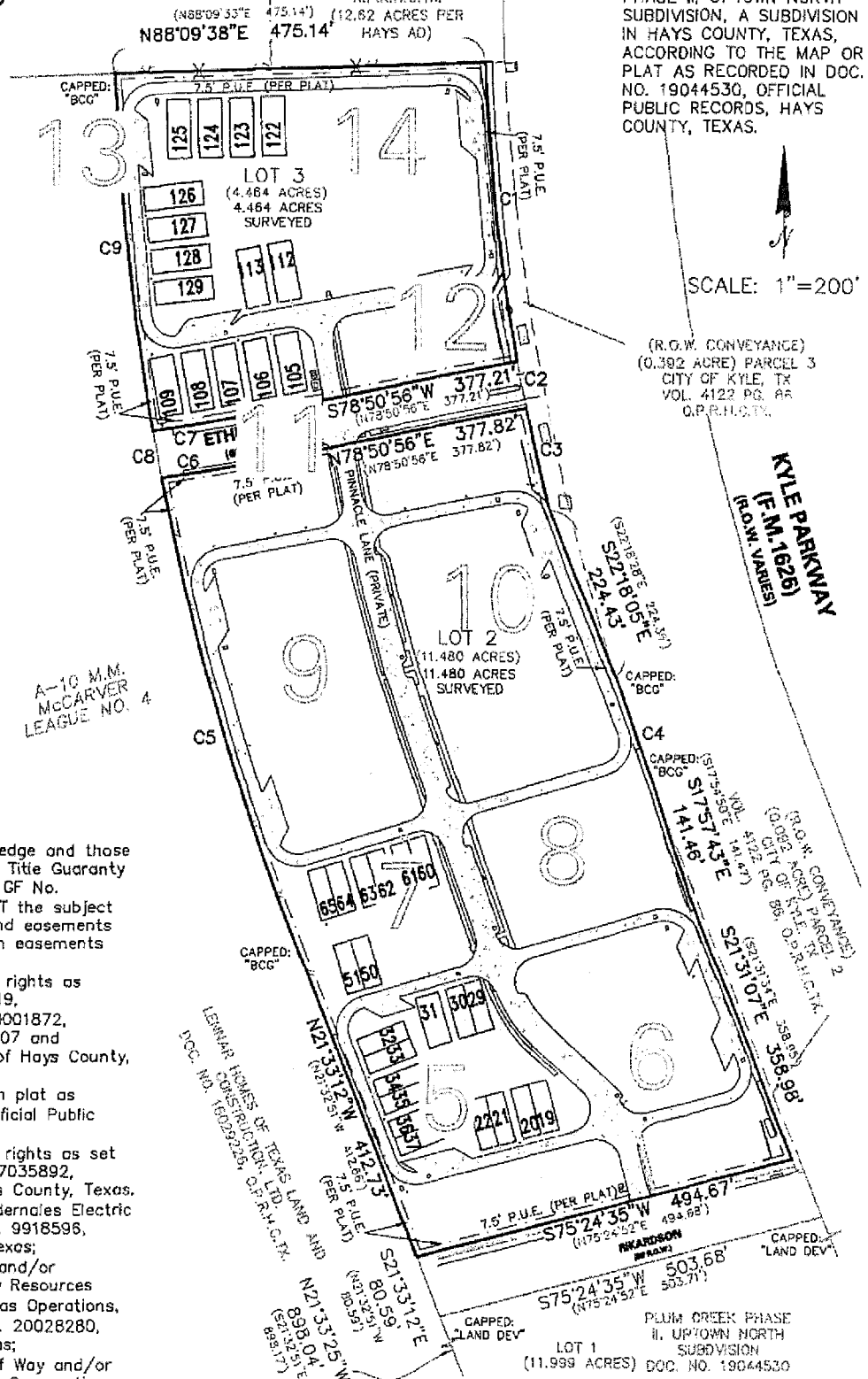
# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT

A CONDOMINIUM REGIME IN HAYS COUNTY, TEXAS, SITUATED ON LOTS 2 AND 3, PLUM CREEK PHASE II, UPTOWN NORTH SUBDIVISION, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT AS RECORDED IN DOC. NO. 19044530, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS.

TEXAS LEHIGH CEMENT COMPANY  
(42.85 ACRES)  
R.P.R.H.C.TX.

TEXAS LEHIGH CEMENT COMPANY  
VOL. 809, PG. 843,  
R.P.R.H.C.TX.  
(12.82 ACRES PER HAYS AD)

Surveyor's Note:  
BEARINGS SHOWN HEREON ARE BASED ON PLUM CREEK PHASE II, UPTOWN NORTH SUBDIVISION, A SUBDIVISION IN HAYS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT AS RECORDED IN DOC. NO. 19044530, OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS.



SCALE: 1"=200'

(R.O.W. CONVEYANCE)  
(0.392 ACRE) PARCEL 3  
CITY OF KYLE, TX  
VOL. 4122 PG. 88  
O.P.R.H.C.TX.

KYLE PARKWAY  
(E.M. 1629)  
(R.O.W. VARIANCE)

- Notes:
- 1) All easements, of which I have knowledge and those recorded easements furnished by Stewart Title Guaranty Company according to Title Commitment GF No. 1374343, effective 8/19/2021, DO AFFECT the subject property. Other than visible easements and easements shown hereon, no unrecorded or unwritten easements are shown hereon.
  - 2) Restrictive covenants and easements rights as recorded in Doc. Nos. 17035892, 17035919, 17038347, 19044530, (Plat), 20001815, 20001872, 20007032, 20028207, 20056908, 20056907 and 21030803 of the Official Public Records of Hays County, Texas;
  - 3) Subject to easements as recorded on plat as recorded in Doc. No. 19044530 (Plat), Official Public Records, Hays County, Texas.
  - 4) Subject to easements and easement rights as set out in instrument recorded in Doc. No. 17035892, 20028280, Official Public Records of Hays County, Texas.
  - 5) Subject to Easement granted to Pedernales Electric Cooperative, Inc., as recorded in Doc. No. 9918598, Official Public Records of Hays County, Texas;
  - 6) Subject to Easement, Right of Way and/or Agreement granted to CenterPoint Energy Resources Corp., d/b/a CenterPoint Energy Texas Gas Operations, by instrument recorded in/under Doc. No. 20028280, Official Public Records, Hays County, Texas;
  - 7) Subject to Utility Easement, Right of Way and/or Agreement granted to Pedernales Electric Cooperative, Inc, as recorded in Doc. No. 21013312, Official Public Records, Hays County, Texas.

## SHEET 4 OF 14

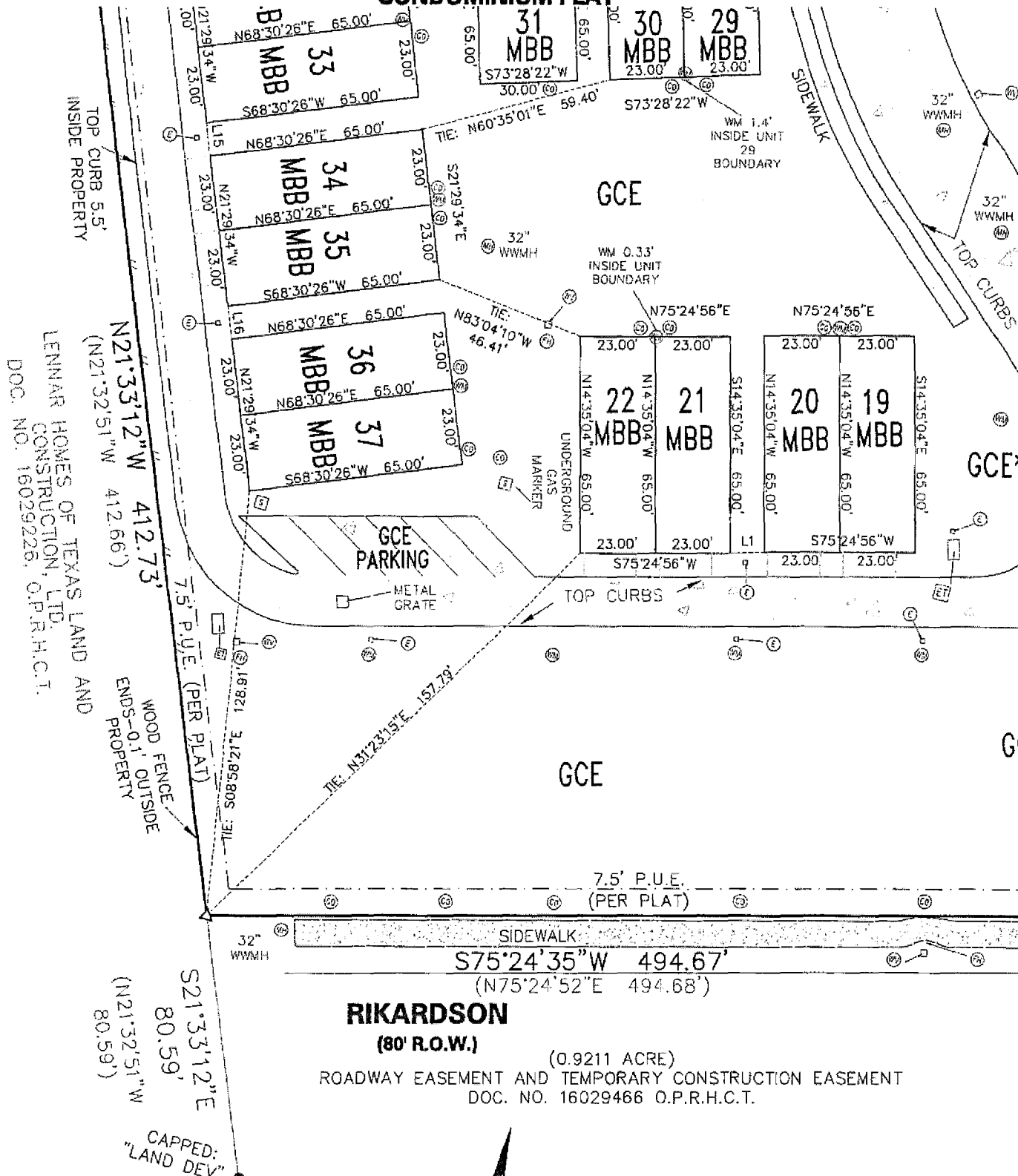
SITE OVERVIEW  
SEE SHEET 3 FOR LEGEND,  
LINE & CURVE TABLES

**ATS** Engineers  
Inspectors  
& Surveyors

www.ats-engineers.com  
TBPLS FIRM REG. #10128000  
4910 West Hwy 290  
AUSTIN, TEXAS 78736

(512) 328-6886  
FAX: (512) 328-6998

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT



TOP CURB 5.5' INSIDE PROPERTY

LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.  
O.P.R.H.C.T.  
DOC. NO. 16029228.

N21°33'12\"W 412.73'  
(N21°32'51\"W 412.66')

WOOD FENCE ENDS 0.1' OUTSIDE PROPERTY

7.5' P.U.E. (PER PLAT)

S21°33'12\"E 80.59'  
(N21°32'51\"W 80.59')

CAPPED: "LAND DEV"

**RIKARDSON**  
(80' R.O.W.)

(0.9211 ACRE)  
ROADWAY EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT  
DOC. NO. 16029466 O.P.R.H.C.T.

**SHEET 5 OF 14**  
UNIT DETAILS  
SEE SHEET 3 FOR LEGEND,  
LINE & CURVE TABLES

SCALE: 1"=40'

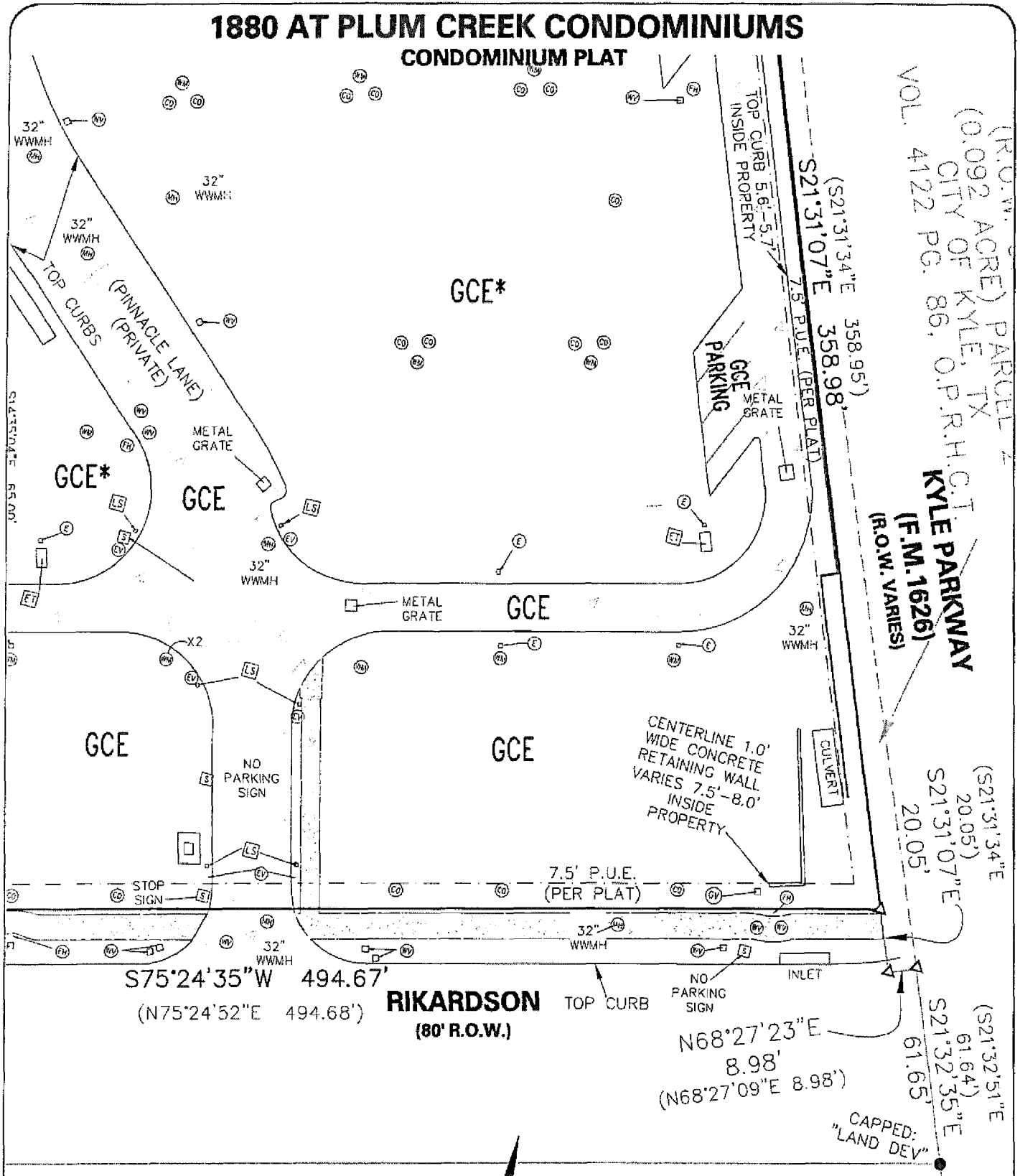


**ATS** Engineers  
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& Surveyors

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4910 West Hwy 290  
AUSTIN, TEXAS 78736

(512) 328-6995  
FAX: (512) 328-6996

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT



(R.O.W. VARIES)  
 (0.092 ACRE) PARCEL  
 CITY OF KYLE, TX  
 VOL. 4122 PG. 86, O.P.R.H.C.T.  
**KYLE PARKWAY**  
 (F.M. 1626)

**S75°24'35"W 494.67'**  
 (N75°24'52"E 494.68')


**RIKARDSON**  
 (80' R.O.W.)

(S21°31'34"E 358.95')  
 (S21°31'07"E 358.98')  
 (S21°31'34"E 20.05')  
 (S21°31'07"E 20.05')  
 (S21°32'51"E 61.64')  
 (S21°32'35"E 61.65')

(N68°27'23"E 8.98')  
 (N68°27'09"E 8.98')

CAPPED:  
 "LAND DEV"

**SHEET 6 OF 14**  
 UNIT DETAILS  
 SEE SHEET 3 FOR LEGEND,  
 LINE & CURVE TABLES

  
 SCALE: 1"=40'



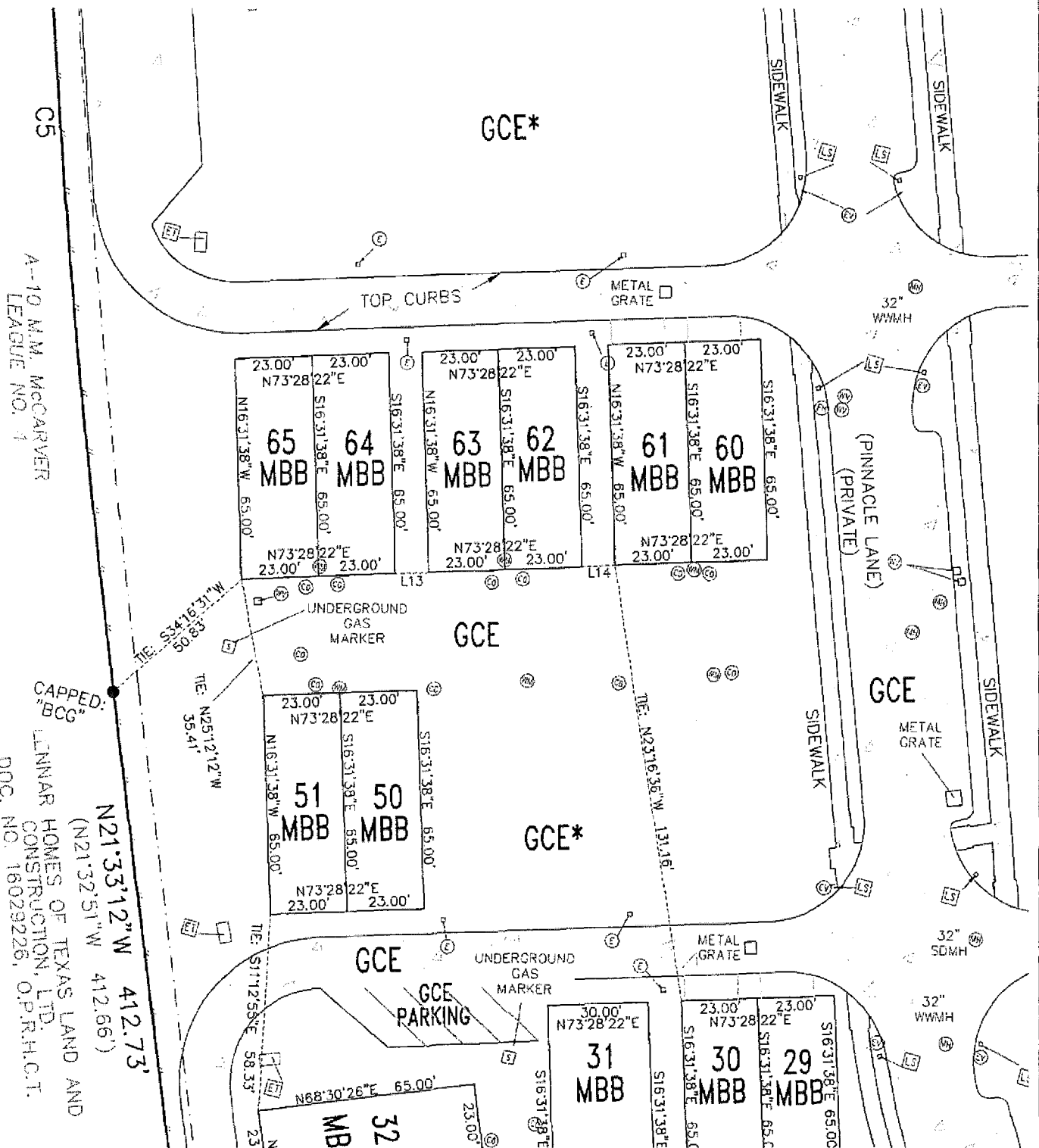
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 TBPLS FIRM REG. #10126000  
 4910 West Hwy 290  
 AUSTIN, TEXAS 78735

(512) 328-6995  
 FAX: (512) 329-6996

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT



A-10 M.M. MCCARVER  
 LEAGUE NO. 1

LENNAR HOMES OF TEXAS LAND AND  
 CONSTRUCTION, LTD.  
 O.P.R.H.C.T.  
 DOC. NO. 18029226,

N21°33'12"W 412.73'  
 (N21°32'51"W 412.66')

**SHEET 7 OF 14**  
 UNIT DETAILS  
 SEE SHEET 3 FOR LEGEND,  
 LINE & CURVE TABLES

SCALE: 1" = 40'

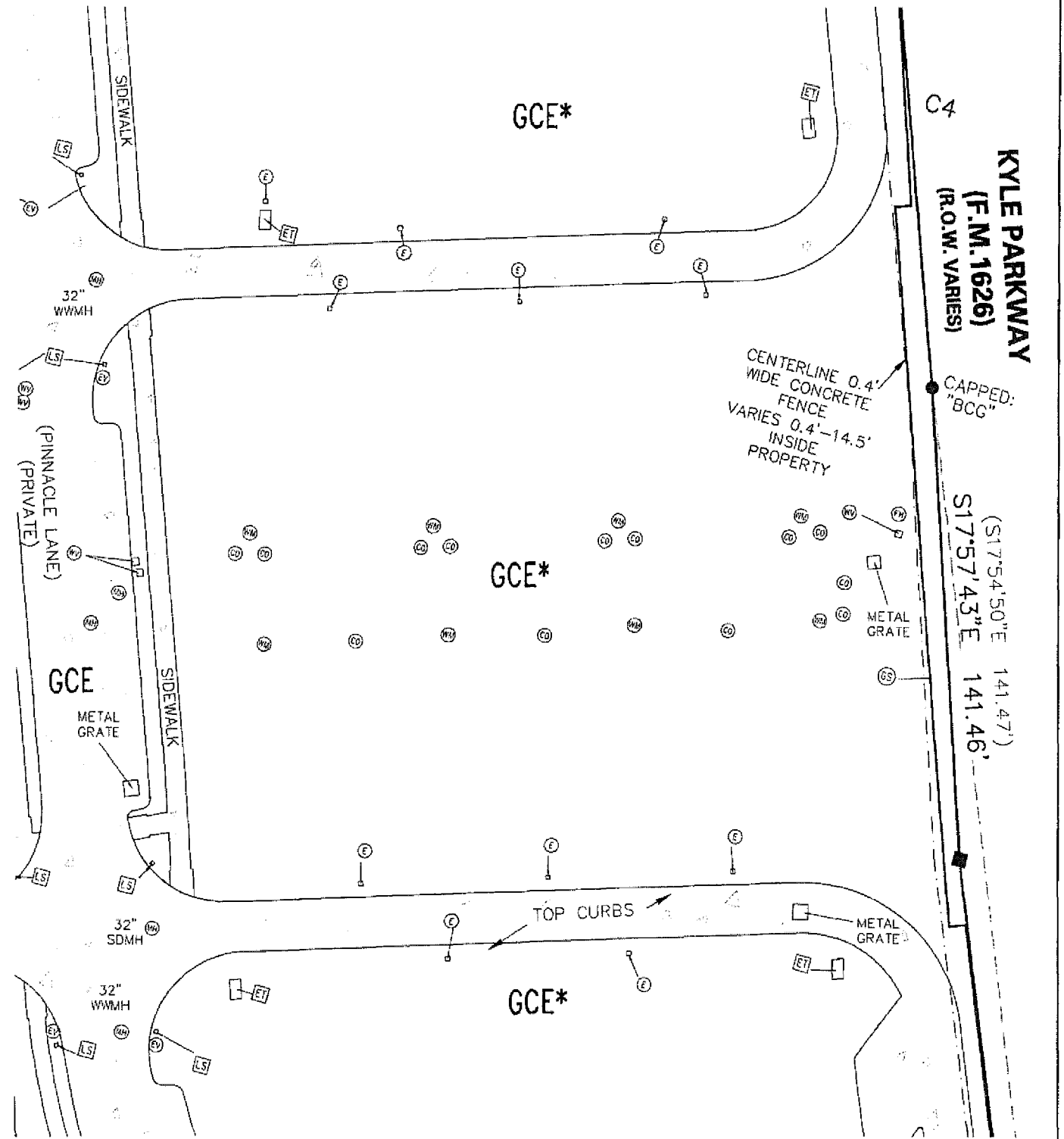
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 AUSTIN, TEXAS 78735

(512) 328-6995  
 FAX: (512) 328-6996

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT



**SHEET 8 OF 14**

UNIT DETAILS

SEE SHEET 3 FOR LEGEND,  
LINE & CURVE TABLES



SCALE: 1"=40'



**ATS** Engineers  
Inspectors  
& Surveyors

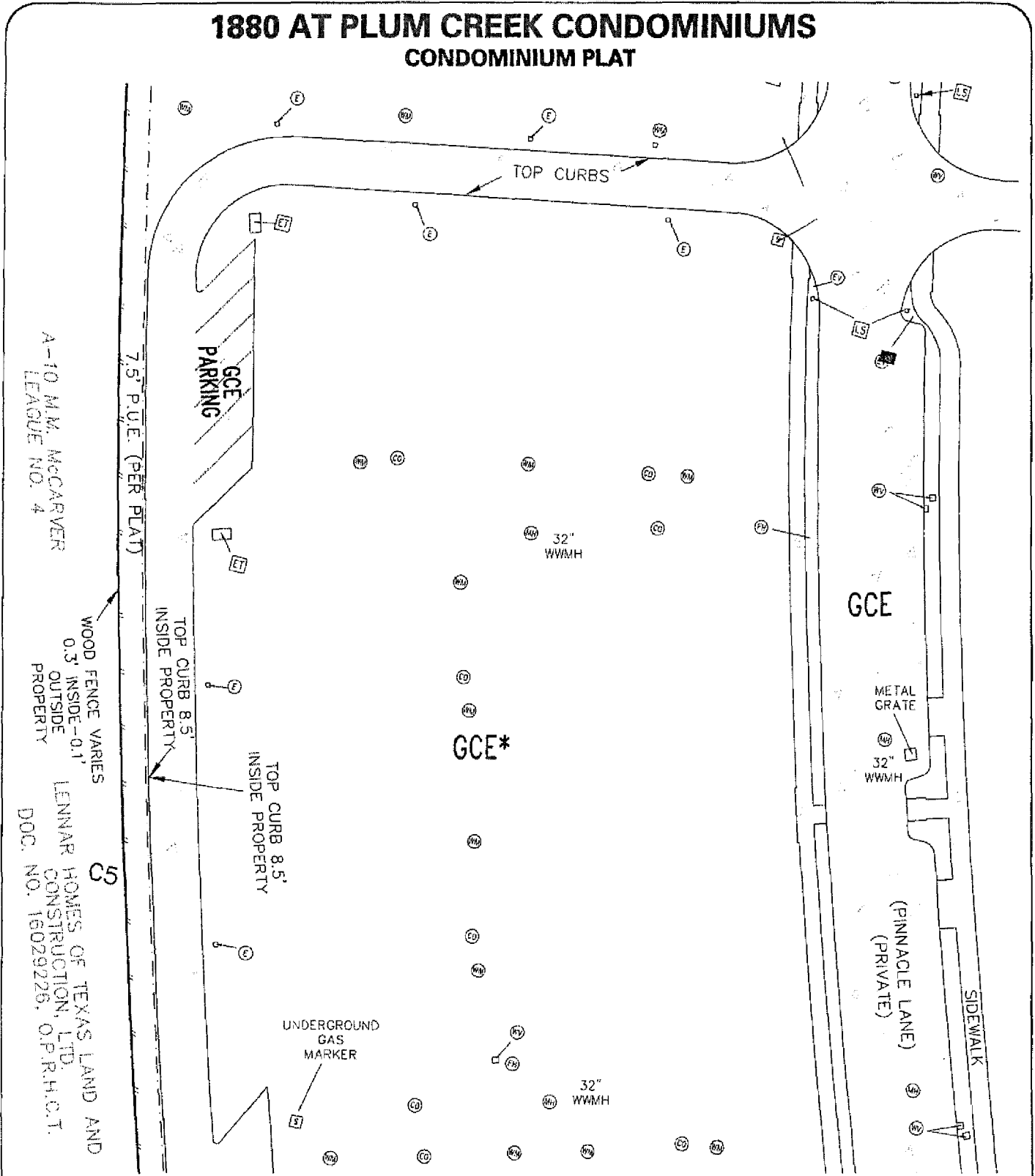
[www.ats-engineers.com](http://www.ats-engineers.com)

TBPLS FIRM REG. #10126000

4910 West Hwy 290  
AUSTIN, TEXAS 78735

(512) 328-6995  
FAX: (512) 328-6996

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT



A-10 M.M. MCCARVER  
LEAGUE NO. 4

WOOD FENCE VARIES  
0.3' INSIDE-0.1'  
OUTSIDE  
PROPERTY

LENNAR HOMES OF TEXAS LAND AND  
CONSTRUCTION, LTD.  
O.P.R.H.C.T.  
DOC. NO. 16029225

**SHEET 9 OF 14**  
UNIT DETAILS  
SEE SHEET 3 FOR LEGEND,  
LINE & CURVE TABLES



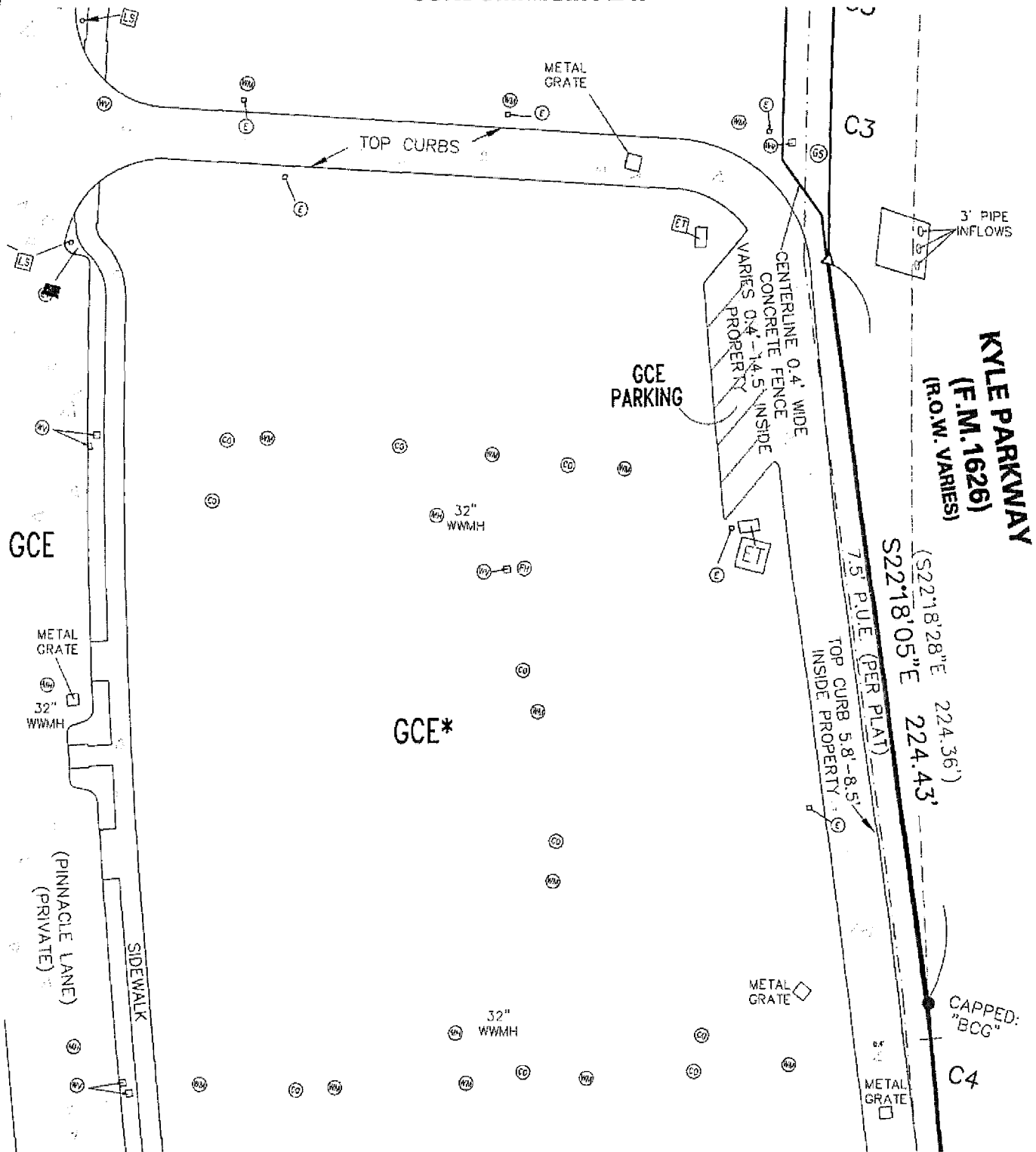
SCALE: 1" = 40'

 **ATS** Engineers  
Inspectors  
& Surveyors

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TBPLS FIRM REG. #10128000  
4910 West Hwy 290  
AUSTIN, TEXAS 78735

(512) 328-6996  
FAX: (512) 328-6996

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT



**SHEET 10 OF 14**

UNIT DETAILS

SEE SHEET 3 FOR LEGEND,  
LINE & CURVE TABLES



SCALE: 1" = 40'



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Inspectors  
& Surveyors

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TBPLS FIRM REG. #10126000

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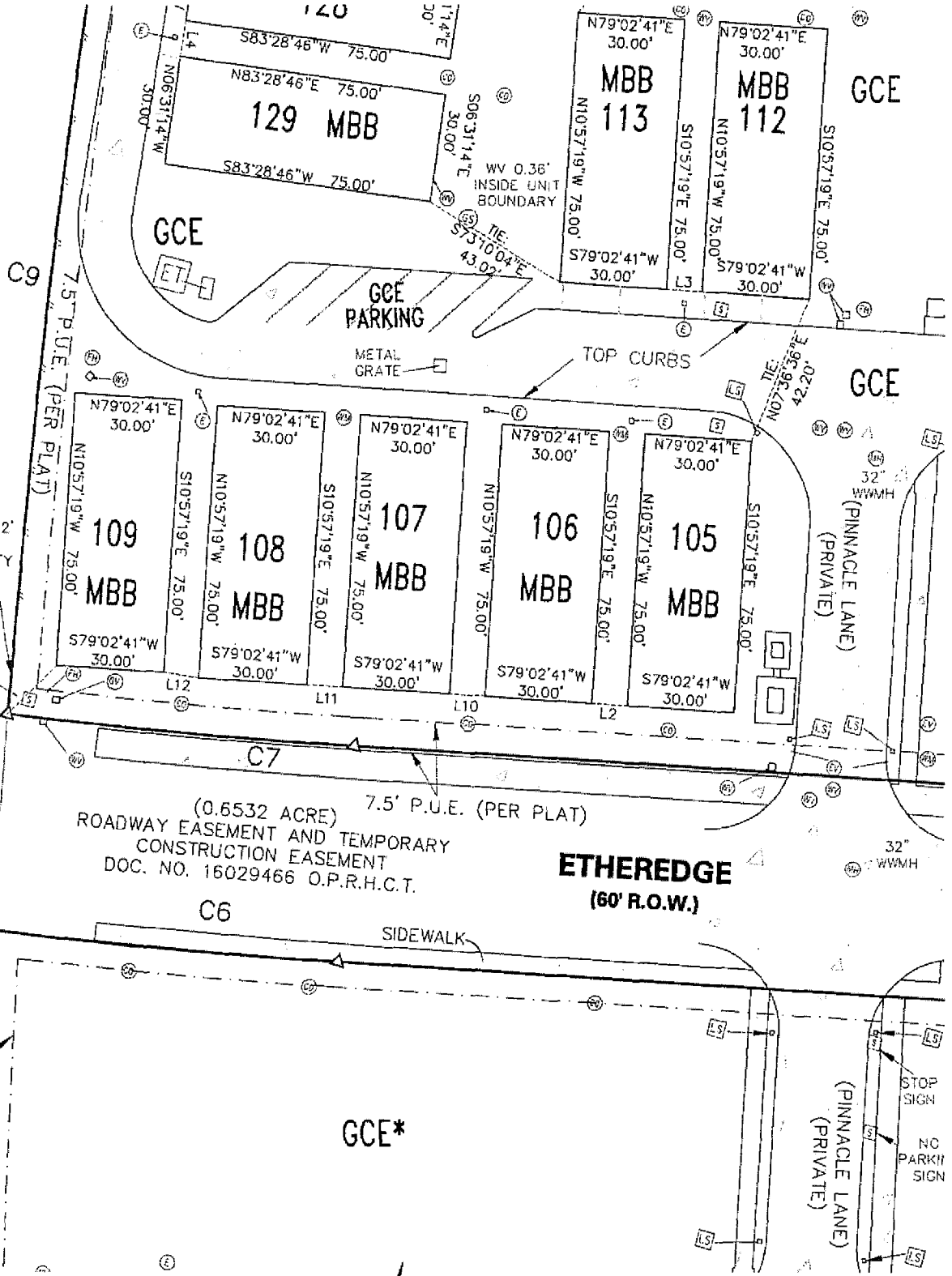
# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT

LENNAR HOMES OF TEXAS LAND AND  
 CONSTRUCTION, LTD.  
 DOC. NO. 160292226, O.P.R.H.C.T.

WOOD FENCE  
 ENDS-0.2'  
 INSIDE PROPERTY  
  
 UNDERGROUND  
 GAS MARKER

WOOD FENCE  
 ENDS-0.3'  
 INSIDE PROPERTY

7.5' P.U.E. (PER PLAT)  
 A-10 M.M. McCARVER  
 LEAGUE NO. 4



**SHEET 11 OF 14**

UNIT DETAILS  
 SEE SHEET 3 FOR LEGEND,  
 LINE & CURVE TABLES



SCALE: 1" = 40'



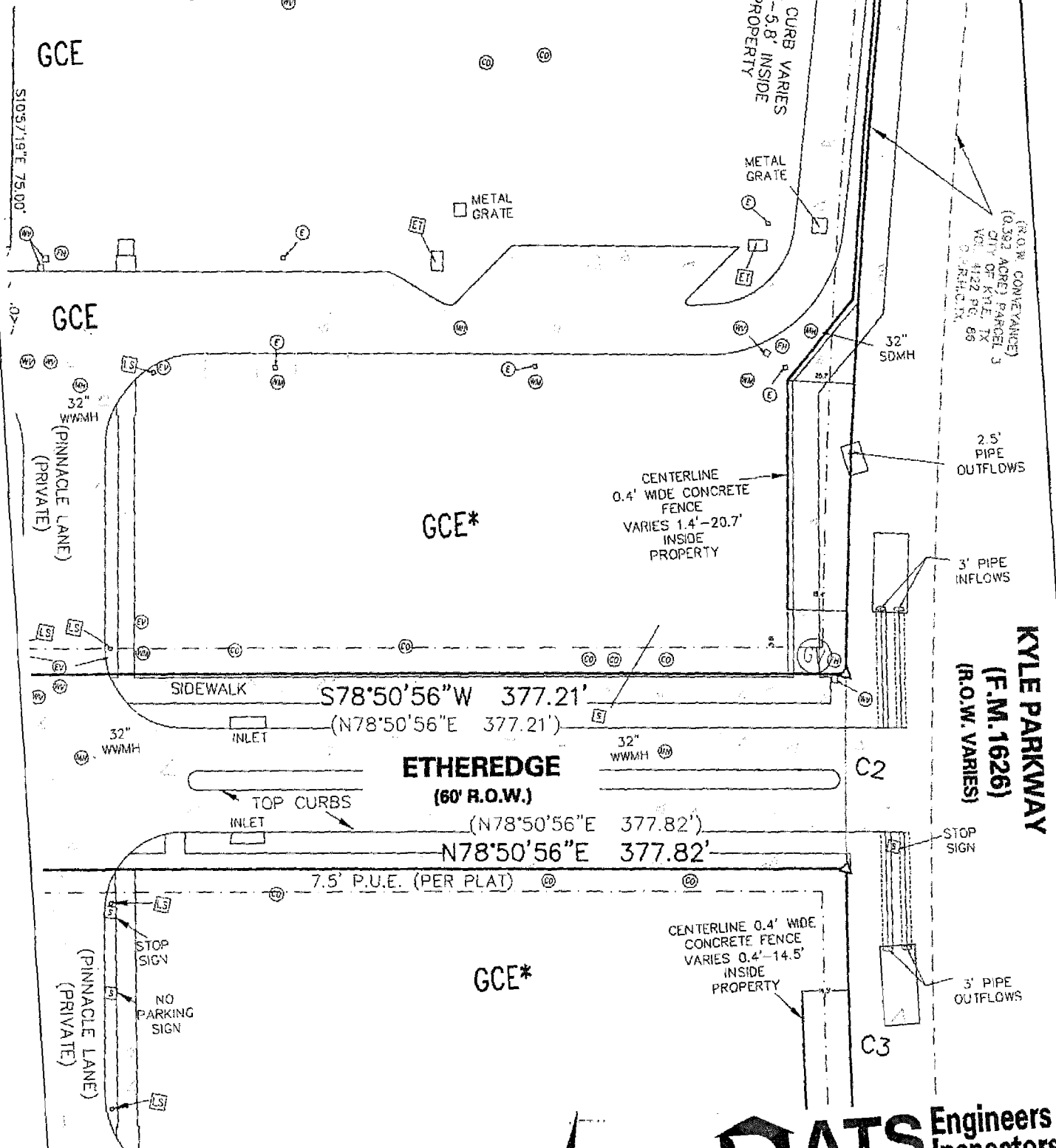
**ATS** Engineers  
Inspectors  
& Surveyors

[www.ats-engineers.com](http://www.ats-engineers.com)  
 TBPLS FIRM REG. #10126000  
 4910 West Hwy 290  
 AUSTIN, TEXAS 78735

(512) 328-6996  
 FAX: (512) 328-6996



# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT



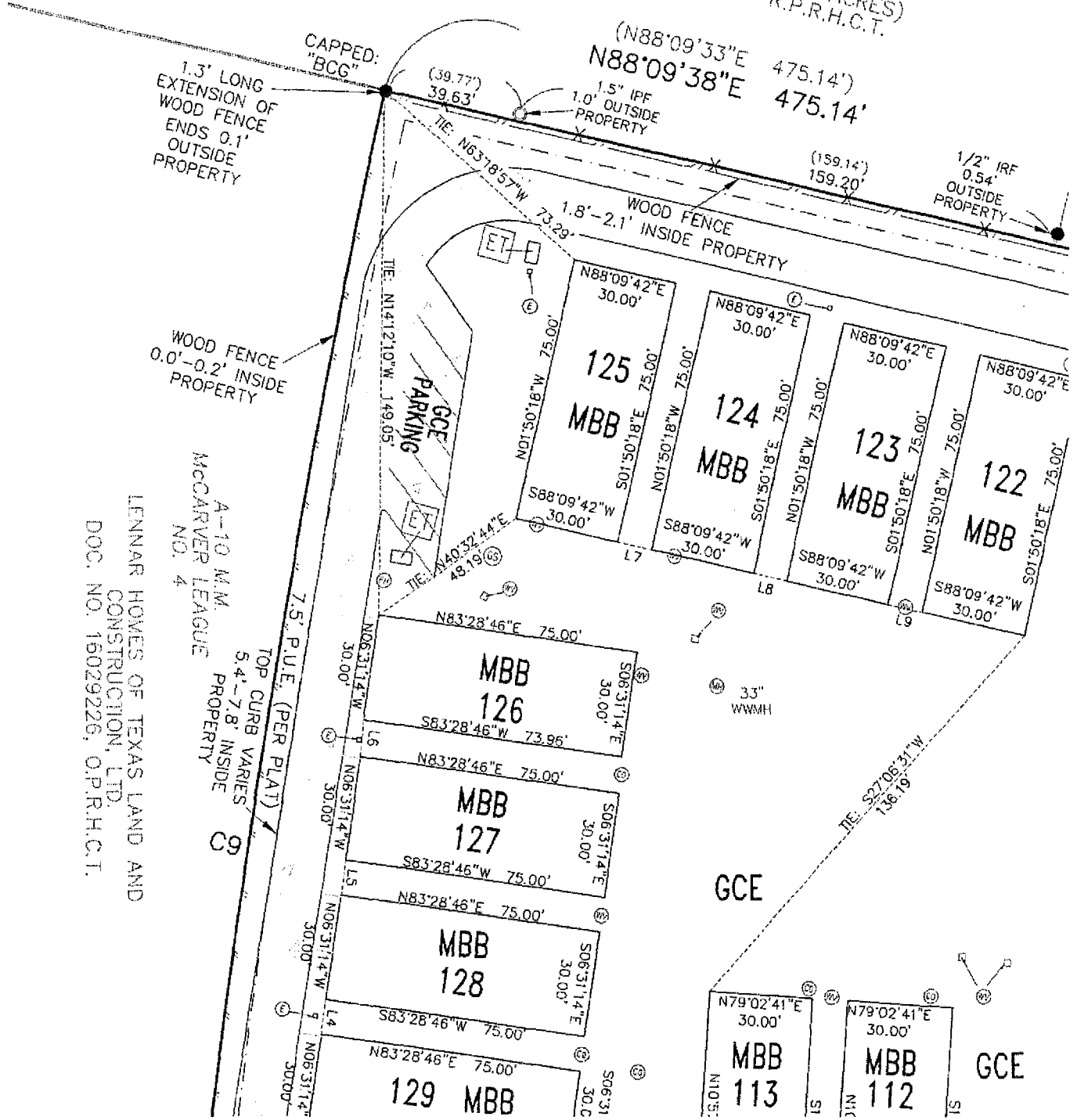
**SHEET 12 OF 14**  
UNIT DETAILS  
SEE SHEET 3 FOR LEGEND,  
LINE & CURVE TABLES

SCALE: 1" = 40'

**ATS** Engineers  
Inspectors  
& Surveyors  
www.ats-engineers.com  
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4910 West Hwy 290  
AUSTIN, TEXAS 78735  
(512) 328-6995  
FAX: (512) 328-6996

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT

TEXAS LEHIGH CEMENT  
COMPANY  
(42.55 ACRES)  
R.P.R.H.C.T.



LENNAR HOMES OF TEXAS LAND AND  
CONSTRUCTION, LTD.  
DOC. NO. 160292226, O.P.R.H.C.T.

A-10 M.M.  
MCCARVER LEAGUE  
NO. 4  
7.5' P.U.E. (PER PLAT)  
TOP CURB VARIES  
5.4'-7.8' INSIDE  
PROPERTY

**SHEET 13 OF 14**  
UNIT DETAILS  
SEE SHEET 3 FOR LEGEND,  
LINE & CURVE TABLES



SCALE: 1"=40'

**ATS** Engineers  
Inspectors  
& Surveyors  
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TBPLS FIRM REG. #10126000  
4910 West Hwy 290  
AUSTIN, TEXAS 78736  
(512) 328-6995  
FAX: (512) 328-6996

# 1880 AT PLUM CREEK CONDOMINIUMS CONDOMINIUM PLAT

TEXAS LEHIGH CEMENT COMPANY  
VOL. 609, PG. 843, R.P.R.H.C.T.  
(12.62 ACRES REMAINDER PER HAYS  
CAD)

(N88°09'33"E 475.14')  
N88°09'38"E 475.14'

BARB WIRE FENCE VARIES  
0.7' INSIDE-0.2' OUTSIDE  
PROPERTY

TIE: N87°34'06"E  
25.12 TO  
DISTURBED IRF

TOP CURBS

7.5' P.U.E. (PER PLAT)

METAL  
GRATE

CULVERT  
INFLOW

GCE\*

GCE  
PARKING

7.5' P.U.E. (PER PLAT)

(R.O.W. CONVEYANCE)  
0.592 ACRES PARCEL 3  
CITY OF KYLE, TX  
VOL. 4122 PG. 96  
D.P.R.H.C.T.

**KYLE PARKWAY**  
(F.M. 1626)  
(R.O.W. VARIES)

33"  
WWMH

33"  
WWMH

TOP CURB VARIES  
1.4'-5.8' INSIDE  
PROPERTY

## SHEET 14 OF 14

UNIT DETAILS

SEE SHEET 3 FOR LEGEND,  
LINE & CURVE TABLES



SCALE: 1"=40'



# ATS Engineers Inspectors & Surveyors

[www.ats-engineers.com](http://www.ats-engineers.com)

TBPLS FIRM REG. #10126000

4910 West Hwy 290  
AUSTIN, TEXAS 78735

(512) 328-6395

FAX: (512) 328-6996

**EXHIBIT "B"****ATTACHMENT 3****COMMON INTEREST ALLOCATION**

Any obligations or rights, including assessment charges or credits calculated or determined based on the Common Interest Allocation which are not allocable to a particular Unit due to a rounding error, will be equally apportioned among all Units within the Regime.

**THE COMMON INTEREST ALLOCATION ASSIGNED TO A PARTICULAR UNIT WILL CHANGE IF THERE IS AN INCREASE OR DECREASE IN THE NUMBER OF UNITS SUBJECT TO THIS DECLARATION.**

<b>Unit Number</b>	<b>Common Interest Allocation</b>
Unit 19	2.7777%
Unit 20	2.7777%
Unit 21	2.7777%
Unit 22	2.7777%
Unit 29	2.7777%
Unit 30	2.7777%
Unit 31	2.7777%
Unit 32	2.7777%
Unit 33	2.7777%
Unit 34	2.7777%
Unit 35	2.7777%
Unit 36	2.7777%
Unit 37	2.7777%
Unit 50	2.7777%
Unit 51	2.7777%
Unit 60	2.7777%
Unit 61	2.7777%
Unit 62	2.7777%
Unit 63	2.7777%
Unit 64	2.7777%
Unit 65	2.7777%
Unit 105	2.7777%

FIRST AMENDMENT TO  
DECLARATION OF CONDOMINIUM REGIME FOR  
1880 AT PLUM CREEK CONDOMINIUMS

Unit 106	2.7777%
Unit 107	2.7777%
Unit 108	2.7777%
Unit 109	2.7777%
Unit 112	2.7777%
Unit 113	2.7777%
Unit 122	2.7777%
Unit 123	2.7777%
Unit 124	2.7777%
Unit 125	2.7777%
Unit 126	2.7777%
Unit 127	2.7777%
Unit 128	2.7777%
Unit 129	2.7777%

**THE STATE OF TEXAS  
COUNTY OF HAYS**

I hereby certify that this instrument was FILED on the date and the time stamped hereon by me and was duly RECORDED in the Records of Hays County, Texas.

22030413 AMENDMENT  
06/21/2022 11:53:27 AM Total Fees: \$106.00

Elaine H. Cárdenas, MBA, PhD, County Clerk  
Hays County, Texas

